



alan  
hawkins

Miltons Way, Royal Wootton Bassett, SN4 7DD

01793 840 222 | [alanhawkins.co.uk](http://alanhawkins.co.uk)

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PROPERTY SALES & LETTINGS





- Two Bedroom Detached Bungalow
- Attached Garage
- Modern Open Plan Kitchen/Diner
- Modern Shower Room
- Short Walk To High Street & Bus Stop

- Rear Extension
- Beautifully Landscaped Rear Garden
- Separate Study
- Driveway Parking & Garage

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PROPERTY SALES & LETTINGS



# 20 Miltons Way Royal Wootton Bassett, SN4 7DD

£385,000

An EXTENDED, beautifully presented, two double bedroom DETACHED bungalow with a modern OPEN PLAN KITCHEN/DINER, separate study and modern shower room, occupying an elevated position in a very favourable cul-de-sac in Royal Wootton Bassett providing access to the towns many amenities located in the nearby High Street.

Built in the 1960s with solid internal walls by the 'Baldwin Brothers', local builders of good repute, this property comprises a generous entrance hall with composite front entrance door, a dual aspect bay windowed living room with wood burning stove, two double bedrooms with fitted wardrobes to bedroom one, a modern shower room with walk-in-shower and a modern open plan kitchen/diner with patio doors to the rear garden and separate study/office.

Outside to the front are raised flowerbeds stocked with shrubs and plants and a block paved driveway with parking for at least c2 vehicles leading to the garage. Side gated access leads to a stunning, fully enclosed & beautifully landscaped rear garden with greenhouse & vegetable patch.

Further attributes include uPVC double glazing and gas radiator central heating via a combination boiler. All-in-all, a wonderful property which we highly recommend viewing!



## Viewings

By appointment through Alan Hawkins Property Sales. Tel: 01793 840 222

## Council Tax: Wiltshire Council

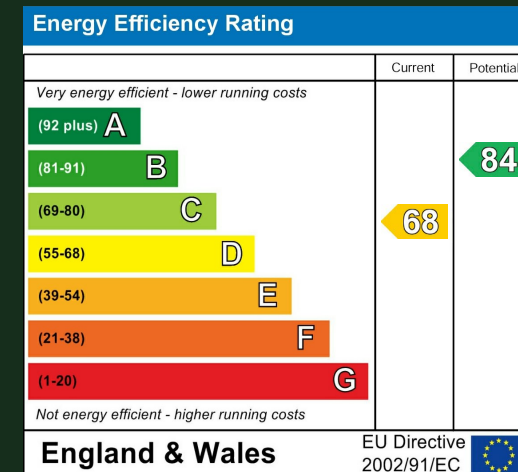
Tax Band D For year 2024/25 = £2412.03

For information on tax banding and rates, please call Wiltshire Council, Monkton Park, Chippenham, Wiltshire, SN15 1ER. Tel: 0300 456 0109

## Tenure

Freehold

## Energy Efficiency Rating (England & Wales)







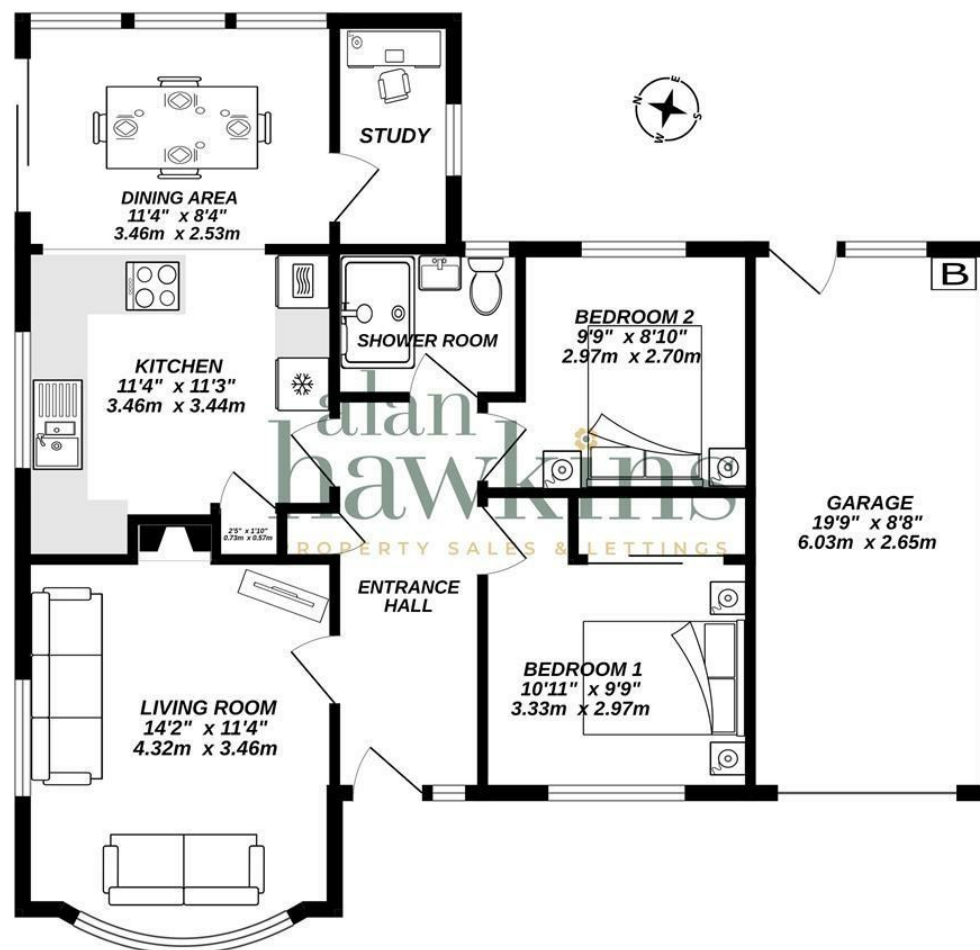








GROUND FLOOR  
879 sq.ft. (81.6 sq.m.) approx.



TOTAL FLOOR AREA : 879 sq.ft. (81.6 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.

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equipment, fixtures or services and so cannot verify they are in working order, or fit for their purposes, neither have the agents checked the legal documents to verify the freehold/leasehold status of the property. The buyer is advised to obtain verification from their solicitor/surveyor.



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